

APPLICATION FOR BUILDING PERMIT

INSTRUCTIONS (Follow them closely)

- A. This application **must** be typewritten or printed and completed in ink and submitted to the office of Code Enforcement.
- B. An application for an addition must include a site plan. Locate clearly and distinctly all buildings whether existing or proposed and indicate all setbacks with dimensions from property lines and existing and proposed buildings. Give lot dimensions according to deed and show location and name of address and street.
- C. (1) AN APPLICATION FOR A BUILDING PERMIT FOR A RESIDENTIAL BUILDING WITH MORE THAN 1500 SQUARE FEET AND FOR ALL COMMERCIAL AND INDUSTRIAL BUILDING OR ADDITIONS THERETO; must be accompanied by two (2) complete sets of specifications and detailed construction plans bearing the authorized professional engineer or architect, licensed in New York State. Plans and specifications shall include a site plan, RES check Compliance Certificate and Plan Review. Also describe the nature of the work to be performed, the materials and equipment to be used and installed, and the details of the structure, mechanical, electrical and plumbing installation and a sectional view for fireplaces from footer to top of chimney and stairs.
- (2) AN APPLICATION FOR A BUILDING PERMIT FOR RESIDENTIAL BUILDING OR ADDITIONS OF LESS THAN 1500 SQUARE FEET must be accompanied by two (2) complete sets of plans. The plans can be free hand sketches and must show the dimensions of the building, rooms, windows and doors. The plans do not have to be a stamped set of drawings from a licensed engineer or architect. The Code Enforcement Officer may request a stamp set of drawings because of the nature of the work being done. Each room must be identified as to its intended use. The plans must show enough information to show that the proposed construction complies with the New York State Building Codes.
- (3) For # 1 the plans must bear an authorized facsimile of the signature and seal of a licensed architect or professional engineer, licensed in New York State certifying that the plans meet the State Energy Code. Included with the plans should be the following items:
- a) "U" value of the envelope subsystem
 - b) Design inside air temperature of each room that is to be heated and or cooled.
 - c) Design out door air temperature.
 - d) Design heat loss and/or gain through each exterior facade in BTU/HR.
 - e) "R" values of the insulating materials
 - f) Size and type of aperture and equipment and system control and other pertinent data to indicate conformance with the requirements of the Energy Code.
 - g) Electrical lighting and power design data
 - h) Submit Res-Check calculations sheets.
- (4) The Building permit shall contain a statement directing that all work shall be performed in accordance with the construction documents submitted and accepted.
- (5) The Code Enforcement Officer shall be notified about any changes occurring during construction that are not in the approved plans.

- (6) The Building Department is allowed 10 business days to approve or disapprove the plans.

D. THE WORK COVERED BY THIS APPLICATION MAY NOT BE STARTED BEFORE THE ISSUANCE OF A BUILDING PERMIT. A Building Permit shall be effective to authorize the commencing and completion of work in accordance with this application, plans and specifications of which it is based for a period of 12 months after the date of issuance. For good cause the enforcing officer may allow such extension of time, as the may deem reasonable. Where the work described in the application, plans and specifications is not completed within the period allowed by the permit and any extension thereof, the enforcing officer may order the owner of the premises to remove any structure and fill any excavation which he shall deem detrimental to public health, safety or welfare.

NOTE: ACCESSORY STRUCTURES

SET BACKS - ARE BASED ON THE REGULATIONS SET FORTH BY THE VILLAGE ORDENANCE.

E. Upon the approval of the application, the Code Enforcement Officer will issue the building permit to the applicant together with approved stamped duplicate sets of plans and specifications. Such permit and approved plans and specifications remain on the premises available for inspection throughout the progress of the work.

F. Notify the Code Enforcement Officer when work is ready for inspection. Refer to inspection schedule with permit.

G. NO BUILDING SHALL BE OCCUPIED OR USED FOR ANY MEANS UNTIL THE CODE ENFORCEMENT OFFICER HAS GRANTED A CERTIFICATE OF OCCUPANCY OR COMPLIANCE.

H. All electrical work must be inspected by, and a Certificate of Approval is obtained from a third party electrical inspection agency. No certificate of Occupancy will be issued until electrical work has been inspected and approved.

I. All gas-fired installations must conform to the requirements of the State Building Code.

J. THE VILLAGE OF CASTOTA SHALL USE ANY OR ALL GUIDELINES SET FORTH BY THE NEW YORK STATE BUILDING AND FIRE CODES AND MANUFACTURES GUIDELINES.

Note: If you have any questions call:

Michael G. Adsit
Code Enforcement Officer
Village of Canastota
205 S. Peterboro St.
Canastota, New York 13032
697-8963 Office
697-3619 Fax
E-Mail: mikeadsit@canastota.com

Office Hours

Monday - Thru - Friday

8:00 a.m. To 4:00 p.m.

Permit No.: _____

Village of Canastota

Total Fee: _____

Date: _____

Plans: ☐ Yes ☐ No

BUILDING DEPARTMENT
205 South Peterboro Street, Canastota, NY 13032
Building Dept (315) 697-8963
Fax (315) 697-3619

BUILDING/ELECTRICAL/PLUMBING PERMIT APPLICATION

Application is hereby made to the Building Department for the issuance of Permits pursuant to the Code of the Village of Canastota. The applicant agrees to comply with all applicable laws, ordinances and regulations. The applicant attests that the in proposed work outlined in this application conforms to all provisions of the Code of the Village of Canastota and laws of New York State. It is further agreed that the premises will not be occupied until a Certificate of Occupancy has been issued and all fees are paid in full.

Application Fee: _____

PERMIT TYPE:

- | | | |
|---|---|--|
| <input type="checkbox"/> Residential (new) | <input type="checkbox"/> Residential (addition/alteration) | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Commercial/Business | <input type="checkbox"/> Assembly (includes restaurants) | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Pool/Deck/Patio/Fence | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Interior Demolition Only | <input type="checkbox"/> Antenna(s) | <input type="checkbox"/> Other _____ |

SITE DATA:

Zone: _____ Area of lot(s): _____ Section - Sheet - Block - Lot(s): _____ - _____ - _____

Street Address: _____

Project Description _____

Variance or Special Use Granted (If any): _____

The following information is to be completed in full. Address must include Street, City, State, and Zip.

OWNER:

Name: _____

Address: _____

Phone: _____

Mobile: _____

LESSEE:

Name: _____

Address: _____

Phone: _____

Mobile: _____

APPLICANT: Applicant is: ☐ Owner ☐ Lessee ☐ Contractor ☐ Electrician ☐ Plumber ☐ Other (complete below in full)

Name: _____

Address: _____

Phone: _____

Mobile: _____

ARCHITECT/ ENGINEER

Name: _____

Address: _____

(New York State Registration #)

Phone: _____

Mobile: _____

COST OF CONSTRUCTION OR VAULUATION:

Cost of Construction or Valuation \$ _____ (Valuation or Costs for the work described in the Application for Building Permit include the cost of all of the construction and other work done previously without permit or new in connection therewith, exclusive of the cost of the land. The estimated cost shall include all costs related to the above described project and shall include all labor that is utilized, whether donated or contracted, including that of the property owner. If a reasonable valuation or estimate for construction is not provided, the Building Inspector shall determine the amount. If the final cost is less than the estimated cost stated in this Application for Building Permit, no portion of the fee paid upon the filing of the Certificate of Occupancy / Compliance application will be refunded)

BUILDER / CONTRACTOR / DEVELOPER:

Name: _____

Address: _____ Phone: _____

Mobile: _____

INSURANCE:

☐ Insurance Certificate (Workers Compensation). ☐ Waiver Certificate - (Owner/Builder/Contractor/Developer) will provide New York State Certificate.

ELECTRICIAN:

Name: _____

Address: _____ Phone: _____

Mobile: _____

DESCRIPTION OF WORK:

Cost of Electrical Work: _____

INSURANCE:

☐ Insurance Certificate (Workers Compensation). ☐ Waiver Certificate - (Owner/Builder/Contractor/Developer) will provide New York State Certificate.

MECHANICAL:

Name: _____

Address: _____ Phone: _____

Mobile: _____

DESCRIPTION OF WORK:

Cost of Mechanical Work: _____

INSURANCE:

☐ Insurance Certificate (Workers Compensation). ☐ Waiver Certificate - (Owner/Builder/Contractor/Developer) will provide New York State Certificate.

PLUMBER:

Name: _____

Address: _____ Phone: _____

Mobile: _____

DESCRIPTION OF WORK:

☐ New Work ☐ Replacement ☐ Overhaul Number of Fixtures: _____ (From worksheet)

INSURANCE:

☐ Insurance Certificate (Workers Compensation). ☐ Waiver Certificate - (Owner/Builder/Contractor/Developer) will provide New York State Certificate.

AUTHORIZATION:

State of New York, County of _____ being duly sworn
deposes and says they are the owner or authorized representative by attached completed proxy statement and are duly authorized to perform
or have performed said work and to make and file this application; that all statements are true and to the best of their knowledge and belief,
and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith.

Sworn to before me Owner or Authorized Representative Signature: _____

this _____ day of _____ Print Name: _____

Notary Public: _____

Seal

DO NOT WRITE BELOW THIS LINE FOR OFFICIAL USE ONLY

Building Department Review By: _____

Date: _____

☐ Disapproved ☐ Approved

Affidavit of Exemption to Show Specific Proof of Workers' Compensation Insurance Coverage for a 1, 2, 3 or 4 Family, Owner-occupied Residence

****This form cannot be used to waive the workers' compensation rights or obligations of any party.****

Under penalty of perjury, I certify that I am the owner of the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, and I am not required to show specific proof of workers' compensation insurance coverage for such residence because (please check the appropriate box):

- ☐ I am performing all the work for which the building permit was issued.
- ☐ I am not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping me perform such work.
- ☐ I have a homeowners insurance policy that is currently in effect and covers the property listed on the attached building permit AND am hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for which the building permit was issued.

I also agree to either:

- ♦ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if I need to hire or pay individuals a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit, or if appropriate, file a CE-200 exemption form; OR
- ♦ have the general contractor, performing the work on the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, provide appropriate proof of workers' compensation coverage or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if the project takes a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit.

(Signature of Homeowner)

(Date Signed)

(Homeowner's Name Printed)

Home Telephone Number _____

Property Address that requires the building permit:

<i>Sworn to before me this _____ day of _____,</i>
<i>(County Clerk or Notary Public)</i>

Once notarized, this BP-1 form serves as an exemption for both workers' compensation and disability benefits insurance coverage.

**LAWS OF NEW YORK, 1998
CHAPTER 439**

The **general municipal law** is amended by adding a new section 125 to read as follows:

125. ISSUANCE OF BUILDING PERMITS. NO CITY, TOWN OR VILLAGE SHALL ISSUE A BUILDING PERMIT WITHOUT OBTAINING FROM THE PERMIT APPLICANT EITHER:

1. PROOF DULY SUBSCRIBED THAT WORKERS' COMPENSATION INSURANCE AND DISABILITY BENEFITS COVERAGE ISSUED BY AN INSURANCE CARRIER IN A FORM SATISFACTORY TO THE CHAIR OF THE WORKERS' COMPENSATION BOARD AS PROVIDED FOR IN SECTION FIFTY-SEVEN OF THE WORKERS' COMPENSATION LAW IS EFFECTIVE; OR

2. AN AFFIDAVIT THAT SUCH PERMIT APPLICANT HAS NOT ENGAGED AN EMPLOYER OR ANY EMPLOYEES AS THOSE TERMS ARE DEFINED IN SECTION TWO OF THE WORKERS' COMPENSATION LAW TO PERFORM WORK RELATING TO SUCH BUILDING PERMIT.

Implementing Section 125 of the General Municipal Law

1. General Contractors -- Business Owners and Certain Homeowners

For businesses and certain homeowners listed as the general contractors on building permits, proof that they are in compliance with Section 57 of the Workers' Compensation Law (WCL) is **ONE** of the following forms that indicate that they are:

- ◆ insured (C-105.2 or U-26.3),
- ◆ self-insured (SI-12), or
- ◆ are exempt (CE-200),

under the mandatory coverage provisions of the WCL. Any residence that is not a **1, 2, 3 or 4 Family, Owner-occupied Residence** is considered a business (income or potential income property) and must prove compliance by filing one of the above forms.

2. Owner-occupied Residences

For homeowners of a **1, 2, 3 or 4 Family, Owner-occupied Residence**, proof of their exemption from the mandatory coverage provisions of the Workers' Compensation Law when applying for a building permit is to file form BP-1 (12/08).

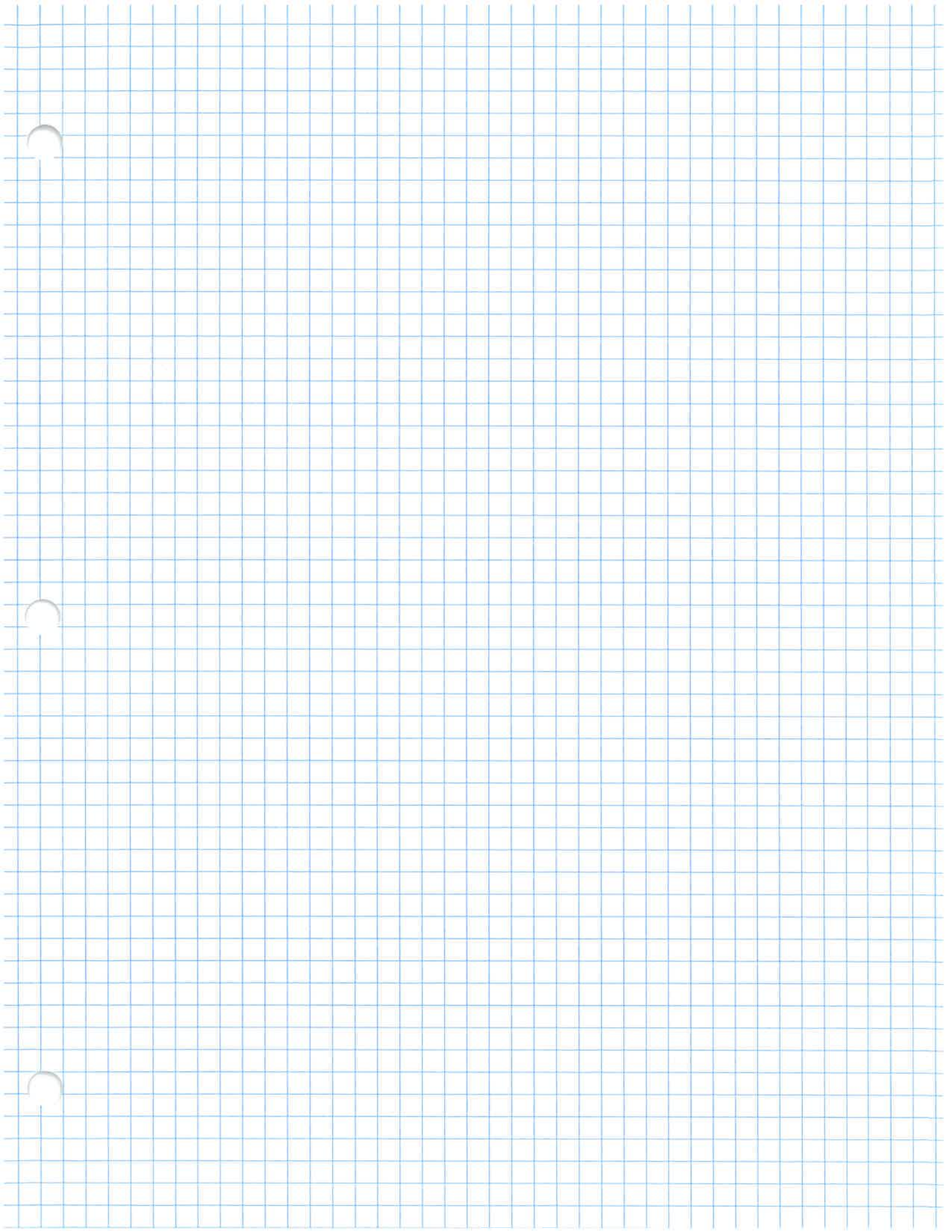
- ◆ Form BP-1 shall be filed if the homeowner of a **1, 2, 3 or 4 Family, Owner-occupied Residence** is listed as the general contractor on the building permit, and the homeowner:
 - ◇ is performing all the work for which the building permit was issued him/herself,
 - ◇ is not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping the homeowner perform such work, or
 - ◇ has a homeowner's insurance policy that is currently in effect and covers the property for which the building permit was issued AND the homeowner is hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued.
- ◆ If the homeowner of a **1, 2, 3 or 4 Family, Owner-occupied Residence** is hiring or paying individuals a total of **40 hours or MORE** in any week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued, then the homeowner may not file the "Affidavit of Exemption" form, BP-1(12/08), but shall either:
 - ◇ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit (the C-105.2 or U-26.3 form), OR
 - ◇ have the general contractor, (performing the work on the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit) provide appropriate proof of workers' compensation coverage, or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit.

Local Electrical Contractors:

JoJo Electric LLC	315-697-3930
Jeff Salerno Electric LLC	315-363-9548
MEID Construction	315-361-1768
Or any other certified electrical contractor	

Third Party Electrical Inspectors:

The Inspector LLC	518-481-5300
Atlantic Inland Inspection Agency	315-363-0670
Middle Department Insp. Agency	1-800-873-6342
Or any other Third Party Inspector	



Village of Canastota

BUILDING DEPARTMENT
205 South Peterboro Street, Canastota, NY 13032
Building Dept (315) 697-8963
Fax (315) 697-3619

PROXY STATEMENT

Proxy is required for all applications (Building, Electrical, Plumbing, Mechanical, Sign, Architectural Review.) when anyone other than the Owner is signing the application.

Date: _____

State of _____) ss:

County of _____)

_____ being duly sworn, deposes and says the he/she resides at
(Owner's full name)

_____ in the County of _____ and the State of _____
(Street, City/Town) (County) (State)

and that he/she is the owner of _____, the premises described in the attached
(Street Address)

application and that he/she has authorized _____ to make the attached
(Applicant Name)

application for _____ and to represent them at all Board and/or Commission
(Application Type)

meetings.

Sworn to before me this

_____ day of _____

Signature of Owner

Notary Public or Commissioner of Deeds

Seal

FOR VILLAGE USE ONLY

PERMIT No.: _____

Village of Canastota

BUILDING DEPARTMENT
205 South Peterboro Street, Canastota, NY 13032
TELEPHONE (315) 697-8963

MINIMUM BUILDING PLAN REQUIREMENTS

The following requirements are general for all building plans submitted for a permit. See specific occupancy/use checklists for additional information required.

(A) General Requirements

- (1) All plans, specifications, calculations, and other documentation shall be submitted in two (2) copies. Each sheet shall bear the signature and seal of a New York State registered architect or of a professional engineer licensed to practice in New York State.
- (2) All documents submitted shall be identified to indicate the Licensed Design Professional's name and location.
- (3) A minimum 2 1/2" x 3 1/2" clear box must be provided on all sheets of plans near the title box for the stamp(s) of approval. The area must not have any type of border or any text associated with it.
- (4) Drawings shall be dated and identified, and include an index which can be used to determine that the package is complete.
- (5) Documents shall provide or show, occupancy or use; area, height, and number of stories; type of construction; and loads (wind, floor, snow, and seismic).
- (6) The drawings shall show the location of utility connections to the building. Include, but not be limited to, electrical, water, fire suppression, waste, and fuel connections.
- (7) Identify interface of exits and egress path(s) leading through existing buildings.

(B) Required Construction Details

Documents for buildings or components shall provide or show, as appropriate, the details listed below.

- (1) General Building/Architectural
 - (a) Floor plan(s) and elevation(s) with dimensions and notations to satisfy space requirements including but not limited to: minimum room areas, minimum horizontal dimensions, location of space in regard to adjacent finished grade level, minimum ceiling height, and allowable areas to be considered under sloping roof areas.
 - (b) Cross sections necessary to identify all major building components and details of connections at existing construction.
 - (c) Details of flashing, such as at openings and at penetrations through roofs and subcomponent connections. Indicate flashing material and gauge to be used.
 - (d) Attic access and attic ventilation, when required by the code. Where attic access is provided, indicate attic floor loading criteria. Demonstrate compliance with natural ventilation requirements and where attic fans are provided, indicate safety controls for attic fans.
 - (e) Exterior wall, roof, and soffit material including, any required rated assemblies.
 - (f) Interior wall and floor/ceiling material including any required rated assemblies.
 - (g) Accessibility provisions, where applicable.
 - (h) Sizes, locations, and types of doors and windows. Indicate location, minimum clear opening and operation specifications for Emergency Escape and Rescue Openings. Provide light and ventilation schedule, demonstrating that minimum requirements for each space are satisfied. Include thermal performance specifications for use in energy calculations.
 - (i) Foundation plans, vents, and underfloor access.
- (2) Fire Safety
 - (a) Details of fire rated assemblies, including reference listing or test report for all stairway enclosures, doors, walls, floors, ceiling, partitions, columns, roof, and other enclosures.
 - (b) Means of egress, including details of aisles, exits, corridors, passageways, and stairway enclosures. Provide calculations for exit requirements.
 - (c) Flame spread and smoke developed classification of interior materials.
 - (d) Location of required draftstops, firestops and fire blocking.
 - (e) Details of opening protectives in fire resistance rated systems and assemblies. Including reference listings for required door, frame, hardware, borrowed light, or window to complete opening protective specification.
 - (f) Drawings of fire suppression systems, standpipes, fire alarms, and detection systems, when required. Provide design calculations for fire suppression systems. Provide riser diagrams for suppression systems, fire and smoke detection systems, and fire alarm systems. Provide model information and reference listing for pre-engineered fire suppression systems.
- (3) Structural Detail Requirements
 - (a) Show all structural members and connections in compliance with applicable codes. Show all load paths, grade, species, and specifications of materials.
 - (b) Details of structural elements, including framing details, spacing, size, connections and fasteners.
 - (c) Schedule of roof, floor, wind, and seismic loads upon which design is based.

- (d) Column loads and column schedule.
- (e) Typical foundation plans, details, and design soil bearing value.
- (4) Mechanical Detail Requirements
 - (a) Location, size, and material specifications for all equipment and components including but not limited to: electric heating systems; hydronic heating systems; all air heating, ventilating and air-conditioning systems; and appliances.
 - (b) Indicate input/output rating and manufacturer's listings requirements of all equipment and appliances, as appropriate.
 - (c) Method of providing combustion air if required.
 - (d) Method for providing ventilation air if required, with quantities identified.
 - (e) Method of providing make-up air if required.
 - (f) Location of flues, vents, and chimneys; and clearances from air intakes, combustible materials, and other vents and flues.
 - (g) Demonstrate code compliance for installation of fuel burning equipment, including fireplaces, in confined and non-confined spaces and identify required clearances consistent with the listing. Provide details when necessary.
- (5) Plumbing Detail Requirements
 - (a) Schematic drawing of the plumbing layout, including, but not limited to, size of piping; fittings; traps and vents; cleanouts and valves; for gas, water, and drainage systems. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (b) Plumbing materials and location of all equipment, appliances, and safety controls to be used. Indicate the rating and capacity of equipment and appliances. List or schedule of plumbing materials indicating appropriate compliance standard.
 - (c) Provide floor plan showing fixtures, equipment, and connecting piping. R-3 Occupancies (1 and 2 family dwellings) require only floor plan showing fixtures and equipment.
- (6) Electrical Detail Requirements
 - (a) Method of grounding service equipment. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (b) Load calculations for service and feeders. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (c) Sizes of branch circuit conductors. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (d) Size, rating, and location of main disconnect and over current protective devices. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (e) Location of outlets, junction boxes, fixtures, and appliances. Indicate all required locations of GFCI protected circuitry, and waterproof circuitry. Show compliance with appropriate reference standard for minimum dedicated circuits at kitchen appliance locations and circuitry serving all appliance/motor locations. Show GFCI protected circuitry, and waterproof circuitry for R-3 Occupancies (1 and 2 family dwellings).
 - (f) A single line diagram of the entire electrical installation. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (g) Indicate all exterior and interior lighting locations. Not required for R-3 Occupancies (1 and 2 family dwellings).
 - (h) Indicate all required smoke and carbon monoxide detecting alarm device locations and circuitry.
 - (i) Indicate provisions for emergency power generation and connection to required circuitry, where applicable.
- (7) Energy Conservation Requirements
 - (a) Provide methodology of compliance, or tables and calculations that demonstrate compliance.
 - (b) Provide details of materials and assemblies for compliance with envelope requirements.
 - (c) Provide equipment efficiencies and control methods.
 - (d) Provide electronic file of model where computer documentation of compliance is provided.
- (C) Site Plans sealed by surveyor and/or engineer, identifying all Existing and Proposed Improvements.**
 - (1) Show dimensions of all property lines.
 - (2) Identify scale used. North direction identified.
 - (3) Easements for utilities including overhead.
 - (4) Name of all adjacent roads and driveway location. Vehicle parking areas identified.
 - (5) Section, Sheet, Block, and Lot.
 - (6) Property owner's name.
 - (7) All existing structures on subject property and adjacent properties (including pools) shown and labeled as to their use and the distance from the proposed structure and property lines.
 - (8) Distance from the proposed structure to ALL property lines and to the centerline of all adjacent roads.
 - (9) Location of any stream, lake or body of water within 100 feet of the property line. State or Federal designated wetlands.
 - (10) Utility service locations and connection details including backflow prevention.
 - (11) Stormwater Management System plan, calculations and details.
 - (12) Erosion control plan.